



Service: Full Home Inspection

Prepared for: Jessica Snyder

WIN Inspectors (2)

Aaron Espe

Ross Kooi

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Inspection Information

Order Details

Site Address: 437 York Ave, Santa Cruz, CA, 95060

Service Date And Time: July 07, 2026 At 01:00 PM

Property Details

Approximate Year Built: 1976

Bedrooms: 3

Approximate Square Footage: 1600

Baths: 2

Occupied: No

Floors: 2

Main Entry Door Faces: East

Inspector Details(2)

Name: Aaron Espe

Name: Ross Kooi

Company Information

Email: aespe@wini.com

Contact Number: (831) 529-6876



Present At Inspection: Client

Explanation Of Terms

This report was prepared and written with the age and type of structure taken into consideration. Below is an explanation of the terms used in the report

Action Required

Items marked Action Required appear to be in need of immediate repair or replacement. Delay in repair or replacement may result in a dramatic shortening of the life expectancy of the item, have immediate effect on the item, system, structure, or other related items, or present a potential health and/or safety hazard.

Repairs Recommended

Items marked Repairs Recommended are in need of repair or replacement in order to make the item functional and/or prevent further deterioration.

Attention

Items marked Attention should be monitored or evaluated further. These items may not require immediate repair, but they show signs of wear or minor deficiencies that, if left unaddressed, could develop into more significant issues over time.

Preventive Measures

Items marked Preventive Measure are in need of routine maintenance or service to ensure continued functionality and prevent potential future issues. The inspector may recommend budgeting for this maintenance or obtaining further evaluation from a third-party professional to clarify or assess the condition of the item.

Functional

Items marked Functional appear to be in serviceable condition using normal operating controls. There was no visible indication of failure at the time the services were performed.

Limitation

Items marked limitation have limited access or limited ability to test or inspect fully, We recommend gaining further information on items marked as a limitation from the owner of the property or from a third party.

Not Inspected

Items marked Not Inspected may be present at the time the services were performed and were not inspected due to obstruction, accessibility, visibility, limitation, weather conditions or the inspection of the item is not within the scope of the services performed.

Informational

Items marked informational are included in the inspection as a courtesy or to add information to the customer to help them live in and maintain their home.

Summary

We have identified various items on the subject structure that either require maintenance now or require periodic maintenance in the normal course of ownership. This is only a summary report and is intended as a guide to be used in both short and long term scheduling of maintenance items. Please read the complete report carefully as additional information and details are contained therein. It is always advisable to use experienced tradespeople or a qualified handyperson when contracting for work that may not be within the scope of your capabilities.

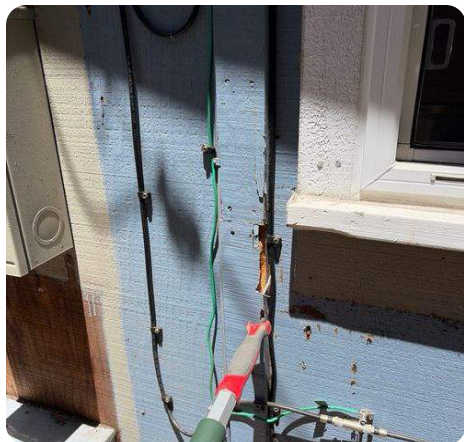
Summary

Exterior

1 Damaged Trim

▮ Repairs Recommended

Some of the exterior wood trim has moisture or wood damaging insect related damage. Addressing this issue is important as damaged trim affects the aesthetics of the building, and may lead to moisture intrusion and potential structural damage. Contact the appropriate trade to further evaluate and repair or replace the damaged trim. Refer to a current wood damaging organism inspection report for additional information.



Southside of Home

2 Worn Paint

▮ Repairs Recommended

The exterior paint is showing wear in areas. Repainting the worn areas is recommended to provide long term protection and a pleasing look to the exterior structure.



Decks, Balconies, Paved Surfaces

3 Damaged Wood Members

✚ Repairs Recommended

📍 Location: **Back Deck**

There are some damaged wood members in the framing at the deck. We recommend repair or replacement to prevent further deterioration. Contact the appropriate trade for further evaluation and repairs.



Back deck



Back deck



Back deck



Under balcony



Under balcony



Under balcony

4 Damaged Surface Boards

✚ Repairs Recommended

📍 Location: **Back Deck**

There are some damaged surface boards at the deck. We recommend replacing the damage boards as needed. Contact the appropriate trade for further evaluation and repairs. Refer to the current pest inspection report for additional information.



5 Wobbly Hand Rail Issue

✚ Repairs Recommended

The handrail on the deck is wobbly, which could pose a safety hazard. It is recommended to evaluate and repair the handrail to ensure stability and safety. A qualified contractor can secure the handrail properly to prevent accidents. Addressing this issue promptly is important to prevent any accidents or injuries.



6 Damaged Steps

✚ Repairs Recommended

Damage to the steps was observed, which could present a safety hazard. It is important to have a qualified contractor evaluate and repair the damaged steps promptly to prevent accidents or further deterioration.



7 Baluster Spacing Issue

🔧 Repairs Recommended

The baluster spacing on the porch does not meet the recommended guidelines. Balusters are the vertical support posts forming the guardrail or handrail system on the stairs. The spacing should not exceed 4 inches to prevent incidents of small children getting stuck or falling through. It is recommended to assess and fix the baluster spacing to enhance the safety of the rails. A qualified contractor or repair person should be contacted for this repair.



8 Overhead Framing Damage At Cover

🔧 Repairs Recommended

There is damage to the structural members at the South porch cover. Further examination is needed to determine the extent of the damage. We recommend you contact a qualified trade or refer to a current pest and dry rot report for recommended repairs.



9 Damaged Patio Cover

🔧 Repairs Recommended

Damage was observed to the roof covering material of the patio cover at the time of the inspection. Damaged roof covering materials may allow moisture intrusion and can lead to further deterioration if not addressed. Contact or qualified trades person for further evaluation or repair

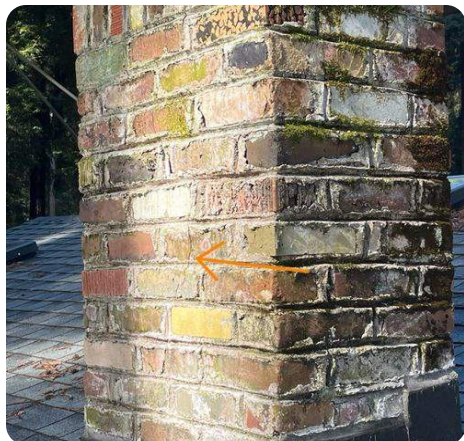


Roof

10 Cracks In Chimney

🔧 Repairs Recommended

There are cracks at the chimney area. These cracks should be repaired to prevent moisture intrusion and deterioration. It is recommended that appropriate repairs be carried out by a qualified chimney inspection company.



11 Cracked Mortar Cap On Chimney

Repairs Recommended

The chimney has a cracked mortar cap. This issue is located at the top of the chimney. It is recommended to evaluate and repair the cracked mortar cap to prevent water infiltration which can lead to further damage. A qualified mason can repair the cracked mortar cap to ensure the chimney remains in good condition. Regular maintenance and sealing of the chimney can help prevent future cracks in the mortar cap.

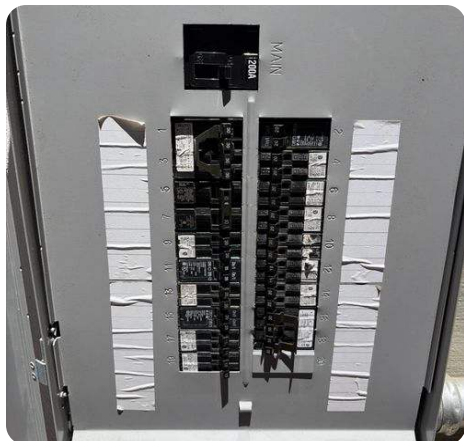


Electrical

12 Breakers Not Labeled

Repairs Recommended

The breakers do not have the benefit of proper and/or complete service labeling. The inspector recommends labeling the breakers in order to provide quick identification of service disconnects in the event of an emergency.



13 Open Knockout

🔧 Repairs Recommended

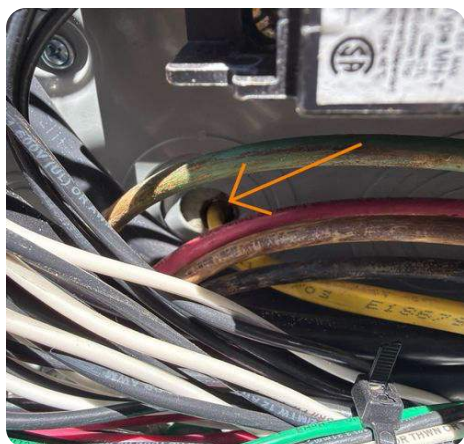
There is one or more open knockout holes on an electric panel. All openings should be plugged with an approved knockout cover in order to keep pests out of the panel. Repair by a qualified electrical contractor is recommended.



14 Missing Strain Relief.

🔧 Repairs Recommended

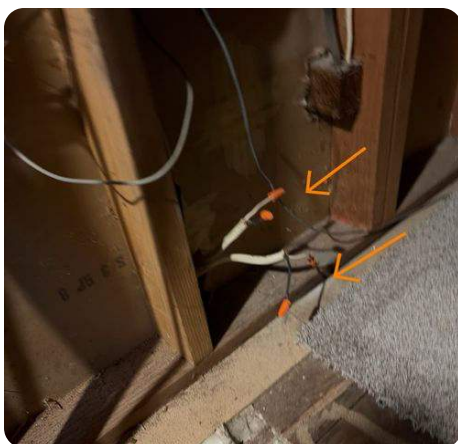
There is no strain relief for some of the wiring routed through the top and bottom of the listed electrical panel. The inspector recommends that strain relief grommets be installed as a preventive measure against any potential damage or abrasion of the wire insulation/sheathing over time. A licensed electrician should perform this task for safety reasons.



15 Exposed Wiring

✚ Repairs Recommended

Exposed wiring was observed at the property. This poses a safety issue that should be addressed promptly to mitigate the risk of electrical shock and other potential hazards. It is recommended to contact a qualified electrician to evaluate and repair the exposed wiring.



16 Reversed Hot Neutral Wiring

✚ Repairs Recommended

The interior GFCI outlet has reverse hot neutral wiring, which can pose a safety hazard. This issue should be evaluated and repaired by a qualified electrician to ensure proper wiring and prevent potential electrical shocks or damage to appliances connected to the outlet.



Near front door



Kitchen

17 Open Junction Box

🔧 Repairs Recommended

An open junction box containing exposed wire connections was observed within the home at the time of the inspection. Junction box covers offer protection to the wire connections, limits debris and rodent access, while containing any potential arcing within the box. It is recommended that an approved cover be installed by a qualified professional.



Attic

18 Dead Outlet

🔧 Repairs Recommended

One outlet in the home does not have electrical power. The inspector found no tripped breakers or tripped GFCI's. We recommend contacting a reputable licensed electrician for further assessment and correction of this issue.



Front of home

19 Open Ground Outlet

🔧 Repairs Recommended

📍 Location: Throughout the Home

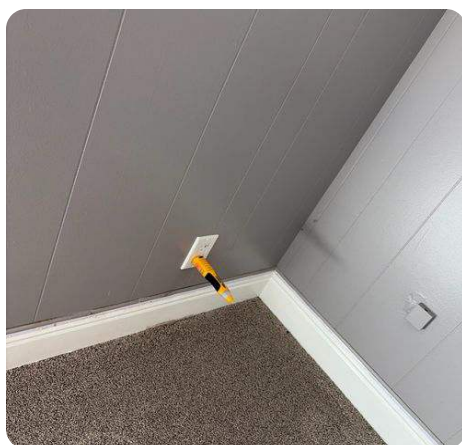
One or more outlets were found to have an open ground. Correcting the open grounds in the electrical system is recommended to ensure safety for occupants and proper functioning of the outlets. A qualified electrician should be hired to evaluate and repair this issue.



Upstairs south bedroom



Upstairs south bedroom



Upstairs south bedroom

20 Two Prong Outlets Present

🔧 Repairs Recommended

The presence of one or more two-prong outlets was observed. It is recommended to upgrade these outlets to three-prong outlets to ensure proper grounding and to meet modern electrical safety standards. This upgrade should be performed by a licensed electrician to ensure compliance with local building codes.



Upstairs bedroom closet

21 Loose Outlet

🔧 **Repairs Recommended**

There is a loose outlet in the home which could lead to connectivity issues and pose a safety hazard. It is recommended to evaluate and repair the outlet as soon as possible. A qualified electrician should be contacted to properly address and fix the loose outlet to ensure safety and functionality.



Upstairs south bedroom

HVAC

22 HVAC Duct Soil Contact

🔧 **Repairs Recommended**

The HVAC ducting within the crawlspace was found to be in direct contact with the soil. Soil contact leads to ducting deterioration over time and it is recommended that the installation be further evaluated and either repaired or replaced by a heating and air conditioning professional.



23 Furnace Flu In Contact With Carpet

✚ Repairs Recommended

The furnace flue was observed in contact with carpet. Flue venting components should be installed with the required clearance from combustibile materials in accordance with the manufacturer's installation instructions and applicable building standards. Improper clearance may present a potential fire hazard. Contact to qualified HVAC technician for further evaluation or repair.

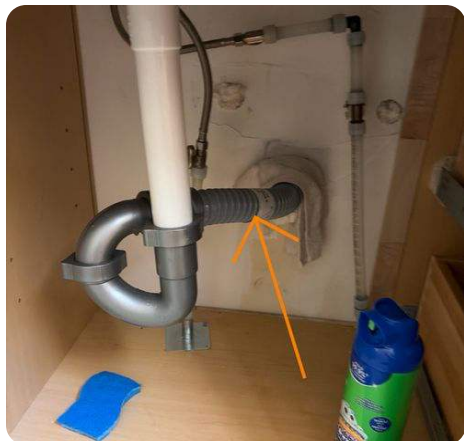


Plumbing

24 Flex Piping

✚ Repairs Recommended

Flex piping was observed in the drain, waste, and vent system. While flexible and easy to install, it is important to be aware that flex piping may be more susceptible to leaks and may not be appropriate for all uses. It is recommended to assess the condition of the flex piping and consider necessary repairs or upgrades. Contact a qualified plumber to evaluate the suitability of the flex piping and determine if any repairs or replacements are needed.



Downstairs bathroom

25 Waste Line Drain Leak

✚ Repairs Recommended

A leak was observed in the drain/waste, line. Evaluating the plumbing system's integrity and addressing any leaks is crucial to avoid additional damage and potential water-related issues. Contact a qualified plumber for further evaluation and repairs.



Downstairs bathroom

26 Loose Toilet

✚ Repairs Recommended

One or more toilets were found to be loose, as evident by movement or rocking when pressure is applied. A loose toilet may cause leaking or damage to the wax seal, potentially resulting in water damage to the subfloor or ceiling below. It is recommended to assess and repair the toilet promptly to avoid future issues. Contact a qualified plumber to correctly secure the toilet.



Downstairs bathroom

Water Heating Equipment

27 One Seismic Strap

⚠ Action Required

The water heater is equipped with one seismic strap. This current standards are that there be two tie down straps around the top and bottom 1/3s of the tank to prevent it from moving in the event of an earthquake. In addition, the fasteners securing the present strap are undersized and do not meet current standards. Contact a qualified handyman for installation of an appropriate size strapping system.



28 Missing Discharge Pipe

🔧 Repairs Recommended

There is no discharge pipe attached to the water heater's temperature pressure relief valve. This pipe is essential to prevent someone from being sprayed with hot water if the valve is activated. While activation of the temperature/pressure relief valve is uncommon, it typically indicates that the water heater requires servicing or adjustments. For safety, it is recommended to install an approved discharge pipe that terminates 6-24 inches from the floor or to the exterior.



Interior

29 Uneven Flooring Slope

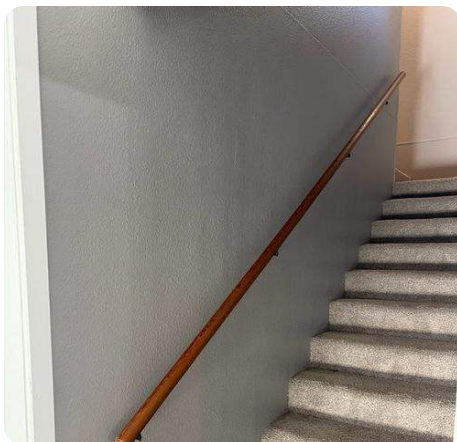
🔧 Repairs Recommended

The flooring in the home displays a noticeable slope in certain areas, which could indicate possible foundation settlement or structural issues. It is recommended to further evaluate the extent of slope and repair as needed to prevent further damage or safety hazards. Consulting with a licensed contractor or structural engineer to assess the situation and address any underlying issues is advised.

30 Handrail Returns Recommended

🔧 Repairs Recommended

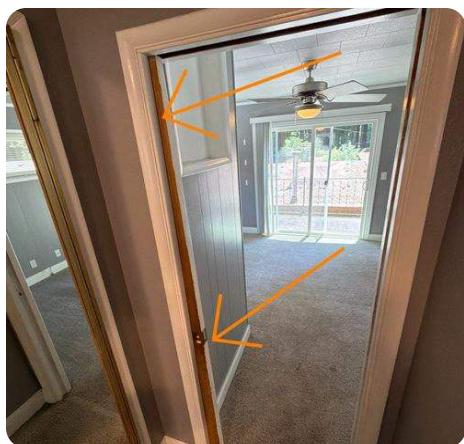
The handrail at the interior stairway is missing returns to the wall at the ends of the rail. A return is meant to help prevent falls and injury. We recommend contacting a qualified contractor for repairs.



31 Pocket Door Off Track

🔧 Repairs Recommended

The pocket door is off track. This issue can lead to difficulty in opening or closing the door properly. It is recommended to evaluate and repair the pocket door track to ensure smooth functionality. A qualified carpenter or handyman can assist in realigning the door on track.



32 Missing Smoke Alarms

🔧 Repairs Recommended

The inspector noted one or more missing smoke detectors in the structure. Functional smoke detectors are recommended in the common areas on each floor and in all sleeping areas for increased safety awareness. Replacing the missing smoke detectors is recommended. Thoroughly testing the units upon move-in and each month is recommended as a preventative safety measure.

33 Missing Carbon Monoxide Alarms

🔧 Repairs Recommended

📍 Location: Downstairs Hallway

The home is missing carbon monoxide alarms. It is recommended to install carbon monoxide alarms on each level of the home, near fuel-burning appliances, and outside of all sleeping areas to ensure the safety of the occupants. Carbon monoxide is a colorless and odorless gas that can be dangerous if undetected. Installing and maintaining carbon monoxide alarms is crucial for early detection of any CO leaks.

34 Damaged Cabinet

🔧 Repairs Recommended

The cabinet has damage that can affect its appearance and functionality. It is recommended to have the damaged area evaluated and repaired by a qualified cabinet repair professional to restore it to its original condition.



Upstairs bathroom

Appliances

35 Not Installed

i Informational

There was no dryer present at the time of inspection. All of the hooks ups and connections appeared to be normal and functioning. Contact the appropriate trade for further evaluation and installation.

36 Disconnected Dryer Vent

🔧 Repairs Recommended

The dryer vent is disconnected. This issue can lead to moisture build-up and potential mold growth. It is recommended to evaluate and repair the dryer vent by reattaching it securely to ensure proper ventilation. A qualified HVAC technician can assist in reconnecting the dryer vent to prevent any further issues.



Structural Components

37 Debris In Crawl Space

🔧 Repairs Recommended

Scrap wood and other debris was noted in the crawl space. Recommend removal of all scrap wood and debris from the crawl space as wood debris/cellulose can lead to insect infestation.



Full Home Inspection

Full Home Inspection

1.1 Exterior > Siding and Trim

About the Siding and Trim

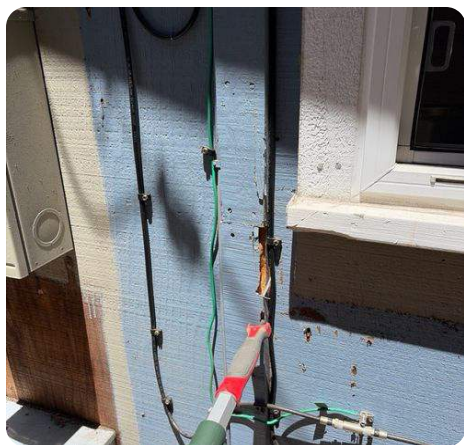
Siding Material: Wood

Damaged Trim

 (Included in Summary)

 Repairs Recommended

Some of the exterior wood trim has moisture or wood damaging insect related damage. Addressing this issue is important as damaged trim affects the aesthetics of the building, and may lead to moisture intrusion and potential structural damage. Contact the appropriate trade to further evaluate and repair or replace the damaged trim. Refer to a current wood damaging organism inspection report for additional information.



Southside of Home

Siding And Trim

 Informational

It is important to proactively maintain these materials in order to preserve the integrity, weather protection and aesthetics of your home. Regular cleaning, re-painting, and periodic inspections can help prevent damage and ensure the longevity of the exterior surfaces.



1.2 Exterior > Paint/Coating and Caulking

Worn Paint

 *(Included in Summary)*

 **Repairs Recommended**

The exterior paint is showing wear in areas. Repainting the worn areas is recommended to provide long term protection and a pleasing look to the exterior structure.



1.3 Exterior > Exterior Windows

About the Exterior Windows

Window Type: Dual-Pane, Vinyl

Windows Evaluated

 **Functional**

The exterior window frames and glass panes were inspected for any signs of damage or wear. No significant issues were noted at the time of the inspection.

1.4 Exterior > Eaves, Soffits, and Fascia

Eaves, Soffits And Fascias

 **Functional**

The accessible eaves, soffits, and fascias were evaluated and were functional. Please note that due to the height above ground, parts of the eaves, soffits, and fascia were not evaluated up close (arms-length). Therefore, there may be unseen issues that were not readily visible. Minor wear, in paint, caulking, or similar cosmetic flaws can be present. Virtually all building components/installations, e.g., siding, trim, roofs/flashings, doors/windows are susceptible to moisture penetration and air intrusion. A representative number or sample of such components/assemblies are checked for functional operation and condition but, to avoid finish damage, are not typically probed. We recommend regular maintenance to ensure they remain in optimal condition and help protect the exterior of the home.

1.5 Exterior > Vegetation, Grading, Surface Drainage

Grading Recommendations

 **Informational**

The grading around the perimeter of the foundation appears to adequately drain excessive run-off of surface and roof water naturally away from the structure. Flat lots or areas may hold water due to the type of soil and/or amount of water from surrounding areas. The typical standard requires the

grade slope away from the structure a minimum 6" for the first 6'-10' from the foundation. Refer to the seller as to the history of any drainage related issues, and monitor for surface moisture during periods of rain.

Vegetation Recommendations

Informational

All vegetation should be kept trimmed approximately 12 inches away from the structure to eliminate a common avenue for pest infestation or moisture damage to the exterior structure material. If applicable, tree limbs over the structure should be removed or maintained to prevent damage from falling limbs and to prevent debris from clogging gutters.

1.6 Exterior > Exhaust Hoods, Vents, and Other Penetrations

Exterior Vents And Penetrations Evaluated

Functional

The exterior vents and siding penetrations appeared to be in functional condition at the time of the inspection. It is recommended to routinely check and maintain these areas to ensure proper functionality, prevent blockages, damage, and optimize ventilation. Regular visual checks and cleaning can help maintain efficiency and avoid potential issues.

1.7 Exterior > Exterior Doors

Exterior Doors Evaluated

Functional

The exterior doors were inspected and appear functional at this time. It is recommended to routinely evaluate the condition of the exterior doors on your property to ensure they are functioning properly and providing adequate security. Regular maintenance such as lubricating hinges, checking weather stripping, and repairing any cracks or gaps can help prolong the lifespan of the doors. If any issues are identified, consider consulting a qualified carpenter or handyman for repairs to ensure continued functionality and security.

1.8 Exterior > Fencing and Gates

Generally Serviceable

Functional

The fencing appeared to be serviceable at the time of inspection.



2.1 Decks, Balconies, Paved Surfaces > Deck Installation, Foundation

Damaged Surface Boards

 (Included in Summary)

 Repairs Recommended

 Location: Back Deck

There are some damaged surface boards at the deck. We recommend replacing the damage boards as needed. Contact the appropriate trade for further evaluation and repairs. Refer to the current pest inspection report for additional information.



Damaged Wood Members

 (Included in Summary)

 Repairs Recommended

 Location: Back Deck

There are some damaged wood members in the framing at the deck. We recommend repair or replacement to prevent further deterioration. Contact the appropriate trade for further evaluation and repairs.



Back deck



Back deck



Back deck



Under balcony



Under balcony

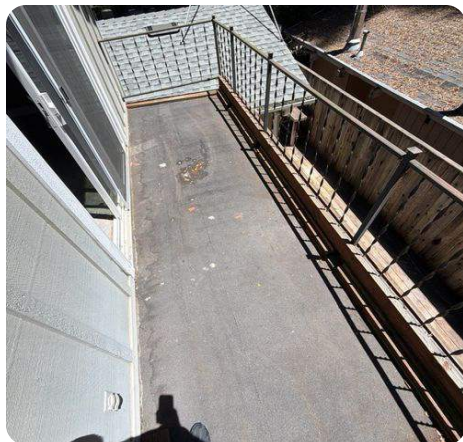


Under balcony

Waterproof Coating

✓ Functional

The deck surface is covered with a functional waterproof coating or membrane without visible cracking. It is recommended to monitor the deck surface regularly for any signs of cracking.



Sub Framing Not Visible

✋ Limitation

📍 Location: Front Porch

The foundation, or underside of the porches, is not visible due to the type of installation or low clearance. Issues may exist that are not visible. If examination is needed, contact a qualified professional for further assessment.

Deck Plank Surfaces - Composite Material Condition

i Informational

The composite decking material was in satisfactory condition at the time of the inspection. This surface appeared to be without visible indications of cracking. Not all areas were visible to inspection due to the furnishings on the deck at the time of the inspection. Monitoring the deck surface for cracks is recommended. Cleaning the deck can be done with soapy water if needed.



Cantilevered Installation

i Informational

There is a cantilevered balcony at the structure, meaning the joists extend from the floor system and are not supported by girders or support posts. This method of construction is susceptible to damage at the junction where the joists penetrate the wall and should be periodically monitored. The structure appears functional; however, the current span of the joists seems to exceed current standards. The distance joists can safely cantilever or overhang a drop beam is determined by the size of the joists, the wood type and grade, and the spacing between joists. This may have been allowed when the structure was built; however, many building departments now limit joist cantilevers to a maximum of 24 inches. It is recommended to always contact your local authority having jurisdiction to ensure all standards and safety requirements are being met before building any structure.



2.2 Decks, Balconies, Paved Surfaces > Hand Rails, Guardrails, Steps

Damaged Steps

 (Included in Summary)

🔧 Repairs Recommended

Damage to the steps was observed, which could present a safety hazard. It is important to have a qualified contractor evaluate and repair the damaged steps promptly to prevent accidents or further deterioration.



Wobbly Hand Rail Issue

 (Included in Summary)

 Repairs Recommended

The handrail on the deck is wobbly, which could pose a safety hazard. It is recommended to evaluate and repair the handrail to ensure stability and safety. A qualified contractor can secure the handrail properly to prevent accidents. Addressing this issue promptly is important to prevent any accidents or injuries.

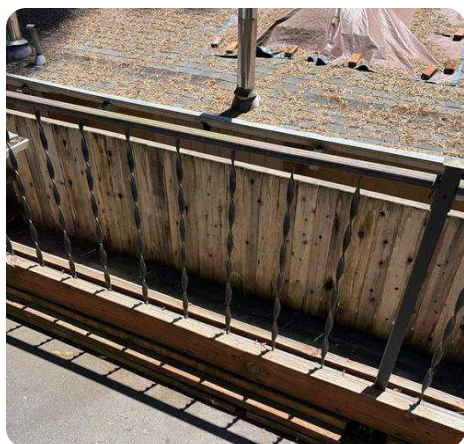


Baluster Spacing Issue

 (Included in Summary)

 Repairs Recommended

The baluster spacing on the porch does not meet the recommended guidelines. Balusters are the vertical support posts forming the guardrail or handrail system on the stairs. The spacing should not exceed 4 inches to prevent incidents of small children getting stuck or falling through. It is recommended to assess and fix the baluster spacing to enhance the safety of the rails. A qualified contractor or repair person should be contacted for this repair.



2.3 Decks, Balconies, Paved Surfaces > Patios, Porches, Stoops

Wear And Safety Check

✓ Functional

Each area was checked for signs of wear such as cracking, settling, or erosion that could impact usability and safety. The surfaces were found to be serviceable at the time of the inspection.

2.4 Decks, Balconies, Paved Surfaces > Walkways, Driveway

Walkways And Driveways Evaluated

✓ Functional

The inspection of the walkways and driveway included checking for cracks, uneven surfaces, and proper drainage to prevent standing water. Both the walkways and the driveway were found to be in serviceable condition.

2.5 Decks, Balconies, Paved Surfaces > Additional Information

Overhead Framing Damage At Cover

(Included in
Summary)

✚ Repairs Recommended

There is damage to the structural members at the South porch cover. Further examination is needed to determine the extent of the damage. We recommend you contact a qualified trade or refer to a current pest and dry rot report for recommended repairs.



Damaged Patio Cover

 (Included in Summary)

 Repairs Recommended

Damage was observed to the roof covering material of the patio cover at the time of the inspection. Damaged roof covering materials may allow moisture intrusion and can lead to further deterioration if not addressed. Contact or qualified trades person for further evaluation or repair



3.1 Roof > Roof Covering

About the Roof Covering

Pitch: Pitched

Pitched: A pitched roof is characterized by sloped surfaces that meet at an angle, designed to facilitate water runoff and add architectural appeal.

Roof Covering Material: Asphalt Shingles

Apparent Number of Layers: Approx. 1 Layer

Approx. 1 Layer: Most times multiple layered roofs are difficult to determine without damaging the material, as well as layers of roofing felt.

Approximate Age of Roof: 1-5 Years Old

Not A Warranty

 Limitation

The inspector does not provide a leak-tight guarantee or a warranty for the roof. The inspector is not a roofing contractor and only provides a general condition report on the visible surface areas. If a more detailed inspection of the installation and remaining service life of the roof cover is desired, contact a qualified roofing contractor for further review.

Roof Age Estimate

i Informational

The age of the roof cover material is an estimate only and is based upon conditions viewed at the time of the inspection. Should determining the exact age be desired we recommend referring to the homeowner or contacting the local building department for building permit documentation.

Dimensional

i Informational

The roof cover material is referred to as dimensional asphalt shingles. These shingles typically have a service life of approximately 30 years. Refer to the seller as to the date of installation and any transferable warranties.



3.2 Roof > Exterior Chimney

Cracks In Chimney

i (Included in Summary)

🔧 Repairs Recommended

There are cracks at the chimney area. These cracks should be repaired to prevent moisture intrusion and deterioration. It is recommended that appropriate repairs be carried out by a qualified chimney inspection company.



Cracked Mortar Cap On Chimney

 (Included in Summary)

 Repairs Recommended

The chimney has a cracked mortar cap. This issue is located at the top of the chimney. It is recommended to evaluate and repair the cracked mortar cap to prevent water infiltration which can lead to further damage. A qualified mason can repair the cracked mortar cap to ensure the chimney remains in good condition. Regular maintenance and sealing of the chimney can help prevent future cracks in the mortar cap.



3.3 Roof > Flashing and Valleys

Flashing And Valley Preventative Maintenance

 Informational

It is recommended that the sealant around any chimney, roof vents, and flashing material be inspected and touched up on an annual basis. Removing any rust and corrosion is recommended to prevent deterioration and damage. Also, any exposed nails at roof vents/flashing should be sealed. Rainwater leaking into the main structure from the roof is a common and avoidable condition if the roofing system is maintained routinely.

3.4 Roof > Roof Vents and Penetrations

Roof Penetrations Evaluated

 Functional

All accessible roof penetrations, such as vents and pipes, were evaluated to ensure they were properly sealed and free of defects. The visible penetrations inspected were secure and maintained effectively, with no signs of water damage or deterioration observed at the time of the inspection.

3.5 Roof > Skylights

Skylights General Statement

 Informational

Skylights overtime can leak from multiple non-roof related issues including but not limited to casing failure and leakage, broken glass, incorrect flashing, and improperly sealed casings and glass. Routine inspections are recommended to ensure long-term use.



3.6 Roof > Gutters, Downspouts, and Drainage

Gutters And Down Spouts Evaluated

✓ Functional

The gutter systems and downspouts were evaluated to ensure they were free of blockages and in proper working condition. We check for signs of sagging, damage, and corrosion that could impair functionality. The downspouts were visually reviewed. We recommend monitoring the gutter system and down spouts during periods of rain to assure they are functioning as intended.

3.7 Roof > Evaluation Method

About the Evaluation Method

Method of Inspection: Walked Surface

Roof Cover Evaluation From Rooftop

i Informational

The roof cover was evaluated from the rooftop. It is recommended to periodically inspect the roof cover for any signs of damage or wear to ensure its functionality and prolong its lifespan.



4.1 Electrical > Service Entrance and Grounding

About the Service Entrance and Grounding

Main Service: Overhead

Main Service Conductor: Multi-Stranded Aluminum

Service Entrance And Grounding Evaluated

✓ Functional

The service entrance components and grounding system were in serviceable condition at the time of the inspection.

4.2 Electrical > Main Service Panels and Disconnects

About the Main Service Panels and Disconnects

Main Panel Location: Exterior

Main Panel Capacity: 200 amps/240 Volt

Breakers Not Labeled

(Included in
Summary)

✚ Repairs Recommended

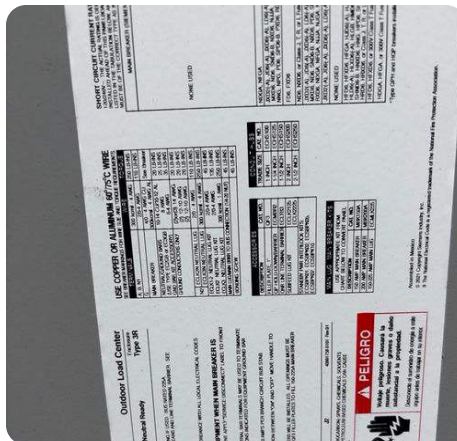
The breakers do not have the benefit of proper and/or complete service labeling. The inspector recommends labeling the breakers in order to provide quick identification of service disconnects in the event of an emergency.



Electrical Service Panel, Main Disconnect And Cover Evaluated

✓ Functional

The service electrical panel, main disconnect and dead-front cover appeared to be in functional condition. The various circuit breakers were labeled on the panel door. Verifying the circuit breakers are correctly labeled is not within the scope of this inspection. Periodic evaluation is recommended for continued safe use.



4.3 Electrical > Interior Components of Main Service Panels

About the Interior Components of Main Service Panels

Panel Cover Removed: Yes

Brand of Electric Service Panel: Siemens

Open Knockout

(Included in Summary)

⚠ Repairs Recommended

There is one or more open knockout holes on an electric panel. All openings should be plugged with an approved knockout cover in order to keep pests out of the panel. Repair by a qualified electrical contractor is recommended.

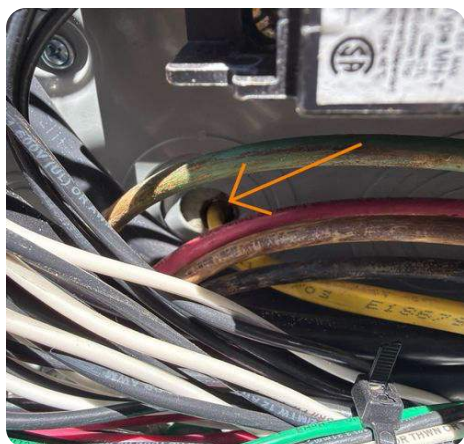


Missing Strain Relief.

(Included in Summary)

⚠ Repairs Recommended

There is no strain relief for some of the wiring routed through the top and bottom of the listed electrical panel. The inspector recommends that strain relief grommets be installed as a preventive measure against any potential damage or abrasion of the wire insulation/sheathing over time. A licensed electrician should perform this task for safety reasons.



Interior Components Evaluated

✓ Functional

The interior components of the service panel were evaluated during the inspection, and they were found to be in working condition. It is always recommended to conduct regular maintenance and/or evaluation on the electrical panels to ensure continued performance.



4.4 Electrical > Breakers/Fuses

Over Current Protection Devices Evaluated

✓ Functional

The overcurrent protection devices in the electrical system were evaluated and found to be without visible flaws. It is essential to ensure these devices are kept in good working condition to protect the electrical system from overloads and short circuits. Note: The inspector does not operate or physically test any of the breakers during this visual examination.

4.5 Electrical > Wiring

About the Wiring

Wire Type: Non-Metallic Sheathed (Romex)

Wire Material: Copper

Exposed Wiring

 (Included in Summary)

 Repairs Recommended

Exposed wiring was observed at the property. This poses a safety issue that should be addressed promptly to mitigate the risk of electrical shock and other potential hazards. It is recommended to contact a qualified electrician to evaluate and repair the exposed wiring.



4.6 Electrical > GFCIs

GFCI Outlets Tested

 Functional

The ground fault circuit interrupters (GFCIs) that were tested appeared to be in functional condition at the time of the inspection. Current building standards require that GFCI outlets be located in areas where there is a higher potential danger of electrical shock from wet conditions (bathrooms, kitchen, garage, laundry, exterior). GFCI outlets should be tested regularly according to manufacturer recommendations.

4.7 Electrical > AFCIs

No AFCI Breakers

 Informational

There are no AFCI (Arc Fault Circuit Interrupters) breakers/outlets installed for this location. This is a newer electrical standard (2002), which protects the living spaces and internal rooms from a short in an outlet from various issues related to plug-in electrical devices and light fixtures. AFCIs are now recommended on all circuits throughout the home. This home may predate this standard; however, a newer electrical panel has been installed. We recommend you contact a qualified electrician for more information and possible upgrades/modifications. When changing electrical outlets, updating to AFCI outlets is recommended.

4.8 Electrical > Fixtures, Switches, and Receptacles

Open Ground Outlet

 (Included in Summary)

 Repairs Recommended

 Location: Throughout the Home

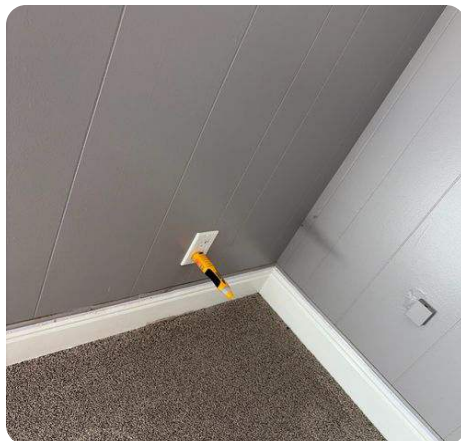
One or more outlets were found to have an open ground. Correcting the open grounds in the electrical system is recommended to ensure safety for occupants and proper functioning of the outlets. A qualified electrician should be hired to evaluate and repair this issue.



Upstairs south bedroom



Upstairs south bedroom



Upstairs south bedroom

Two Prong Outlets Present

 (Included in Summary)

 **Repairs Recommended**

The presence of one or more two-prong outlets was observed. It is recommended to upgrade these outlets to three-prong outlets to ensure proper grounding and to meet modern electrical safety standards. This upgrade should be performed by a licensed electrician to ensure compliance with local building codes.



Upstairs bedroom closet

Loose Outlet

 (Included in Summary)

 **Repairs Recommended**

There is a loose outlet in the home which could lead to connectivity issues and pose a safety hazard. It is recommended to evaluate and repair the outlet as soon as possible. A qualified electrician should be contacted to properly address and fix the loose outlet to ensure safety and functionality.



Upstairs south bedroom

Reversed Hot Neutral Wiring

 (Included in Summary)

 **Repairs Recommended**

The interior GFCI outlet has reverse hot neutral wiring, which can pose a safety hazard. This issue should be evaluated and repaired by a qualified electrician to ensure proper wiring and prevent potential electrical shocks or damage to appliances connected to the outlet.



Near front door



Kitchen

Dead Outlet

 (Included in Summary)

 **Repairs Recommended**

One outlet in the home does not have electrical power. The inspector found no tripped breakers or tripped GFCI's. We recommend contacting a reputable licensed electrician for further assessment and correction of this issue.



Front of home

Open Junction Box

*(Included in
Summary)*

Repairs Recommended

An open junction box containing exposed wire connections was observed within the home at the time of the inspection. Junction box covers offer protection to the wire connections, limits debris and rodent access, while containing any potential arcing within the box. It is recommended that an approved cover be installed by a qualified professional.



Attic

4.9 Electrical > Additional Information

Electrical Service General Statement

Informational

An electrical system consist of the service, distribution wiring and convenience outlets. This includes switches, lights and receptacles. Our examination of the electrical system includes the exposed, accessible conductors, branch, circuitry panels, overcurrent, production devices, and a random sampling of convenient outlets. We look for adverse conditions such as improper installation of aluminum wiring, lack of grounding over fusing exposed wiring, running splices, reversed polarity, and other substandard or outdated installations. The hidden nature of electrical wiring prevents inspection of all the electrical system. Components, that are concealed from view are considered inaccessible. Furniture and/or storage may have restricted access to some electrical components which are then also considered inaccessible.

5.1 HVAC > Heating Equipment

About the Heating Equipment

Location of Heating System: Interior Closet

Heating Method: Furnace, Forced Air

Heating System Energy Source: Propane

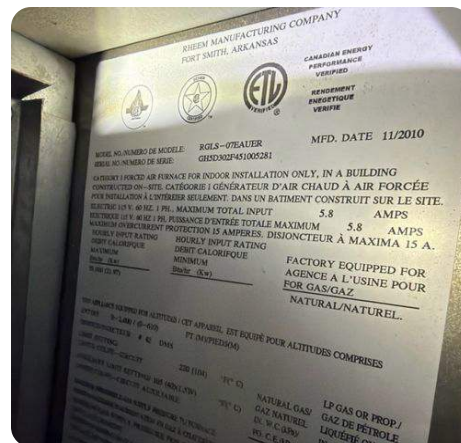
Approximate Manufactured Date of Heating System: 16-20 Years Old

Service Notes: None Visible

Heating System Average Life Expectancy

i Informational

The average life expectancy of a heating system is approximately 15-25 years depending on the type and maintenance of the system. If the system is near or over this life span, consideration into saving for a replacement or a more efficient model, should be considered. The inspector is not required to remove flame guards or view/identify the condition of the heat exchanger. This inspection checks on the general function of the heating system and in no way guarantees any mechanical components for useful life, serviceability, or efficiency. It is also recommended you contact an HVAC company annually, or as needed, to perform servicing and maintenance on the unit.



5.2 HVAC > Thermostats and Controls

About the Thermostats and Controls

Thermostat Location: Main Hall

Generally Serviceable

✓ Functional

The thermostats and controls appeared to be serviceable at the time of inspection.



5.3 HVAC > Distribution/Return Ducts and Systems

About the Distribution/Return Ducts and Systems

Filter Size: 14 × 20 × 1

Location of Filter: Upstairs Hallway

Number of Filters Present: 1

HVAC Duct Soil Contact

 (Included in Summary)

 Repairs Recommended

The HVAC ducting within the crawlspace was found to be in direct contact with the soil. Soil contact leads to ducting deterioration over time and it is recommended that the installation be further evaluated and either repaired or replaced by a heating and air conditioning professional.



Evaluated And Temperature Readings Taken

 Functional

The inspector took temperature readings at a representative number of accessible heating registers and noted consistent temperatures. The interior of the heating ducts and registers are not accessible for inspection. Consideration may be given to contacting a duct cleaning service to assure safe and efficient operation of the system.



5.4 HVAC > Exhaust Vents and Flues

Furnace Flu In Contact With Carpet

 (Included in Summary)

 Repairs Recommended

The furnace flue was observed in contact with carpet. Flue venting components should be installed with the required clearance from combustible materials in accordance with the manufacturer's installation instructions and applicable building standards. Improper clearance may present a potential fire hazard. Contact to qualified HVAC technician for further evaluation or repair.



6.1 Plumbing > Water Supply and Piping

About the Water Supply and Piping

Structure Pipe Material: PEX, Galvanized Steel

Incoming Water Line Pipe Material: Not Visible

Water Source: Public

Static Water Pressure: 40-50 PSI

Water Pressure Tested

✓ Functional

The recommended water pressure is between 40 and 80 psi. The pressure was tested at the exterior hose bib, and it registered in the recommended range.



6.2 Plumbing > Main Water Shutoff

About the Main Water Shutoff

Water Meter Location: Near Street

Water Shut-off Location: Side Of Home

Water Main Shut-Off

✓ Functional

The water main shut-off valve was located, however the valve is not tested as part of this inspection. It is important to know the location and condition of the shut-off valve in case of emergencies or repairs. We recommend testing the shut-off valve periodically to ensure proper functionality.



6.3 Plumbing > Drain, Waste, and Vent Systems

About the Drain, Waste, and Vent Systems

Waste Pipe Material: ABS, Cast Iron

Cast Iron: As cast iron waste and drain pipes age, they can be susceptible to rust and corrosion, leading to leaks or restricted flow.

Main Sewer Clean-Out Location: Front Yard

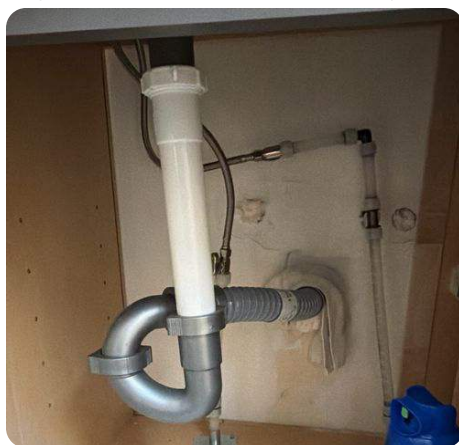
Sewer Type: Septic

Waste Line Drain Leak

 (Included in Summary)

 **Repairs Recommended**

A leak was observed in the drain/waste, line. Evaluating the plumbing system's integrity and addressing any leaks is crucial to avoid additional damage and potential water-related issues. Contact a qualified plumber for further evaluation and repairs.



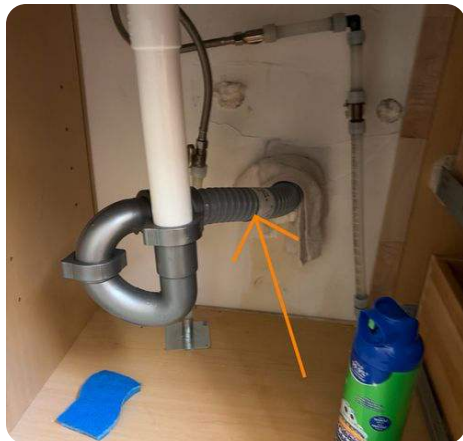
Downstairs bathroom

Flex Piping

 (Included in Summary)

 **Repairs Recommended**

Flex piping was observed in the drain, waste, and vent system. While flexible and easy to install, it is important to be aware that flex piping may be more susceptible to leaks and may not be appropriate for all uses. It is recommended to assess the condition of the flex piping and consider necessary repairs or upgrades. Contact a qualified plumber to evaluate the suitability of the flex piping and determine if any repairs or replacements are needed.



Downstairs bathroom

Sewer Line Clean Out Location

i Informational

The sewer clean out should be visible and easily accessible. It is typically located outside the house near the main sewer line. A clear and unobstructed clean out is essential for maintenance and clearing blockages efficiently. We recommend regular inspection and keeping the area free of debris for easy access.



Septic System General

i Informational

Septic systems require proper care and maintenance. They should be cleaned and pumped every 3-5 years (depending on occupancy). Harsh chemicals and antibacterial soaps should not be introduced into the system, as they can destroy the bacteria that naturally break down the solids in the tank. Only septic-rated (single-ply) toilet paper should be used. If a kitchen sink disposal is installed, it must be rated for septic systems, as it finely grinds the food before it reaches the system. This sight offers additional information on how to maintain your system: <https://www.epa.gov/septic/how-care-your-septic-system>

Cast Iron Waste Pipes Present

i Informational

Cast Iron and Plastic waste pipes are present. Cast iron has a minimum life expectancy of 50 years. Continued observation is recommended of the cast iron lines to identify early signs of leaks that would require replacement.



6.4 Plumbing > Fuel Supply

About the Fuel Supply

Fuel Service: Propane

Propane: Gas line inspections are typically conducted only if problems are suspected. Corrosion on visible lines should prompt an inspection by the utility provider.

Fuel Shut Off Location: At Tank and Appliances

CSST Present

Attention

Corrugated Stainless Steel Tubing (CSST) is present on the gas supply system. It is important to ensure that the CSST is properly bonded and grounded to reduce the risk of damage from lightning strikes or electrical faults. It is recommended to verify the installation meets current safety standards and codes. A licensed plumber or qualified professional should inspect the system for proper bonding and grounding.



Visible Gas Supply Lines Inspected

Functional

The gas plumbing system was evaluated during the home inspection and was found to be in functional working condition. No issues were identified with the gas plumbing system. Regular maintenance and inspection are recommended to ensure continued optimal performance.



6.5 Plumbing > Toilets

Loose Toilet

 (Included in Summary)

 Repairs Recommended

One or more toilets were found to be loose, as evident by movement or rocking when pressure is applied. A loose toilet may cause leaking or damage to the wax seal, potentially resulting in water damage to the subfloor or ceiling below. It is recommended to assess and repair the toilet promptly to avoid future issues. Contact a qualified plumber to correctly secure the toilet.



Downstairs bathroom

1.28 GPF Toilets Installed

 Functional

There were 1.28 gpf toilets installed at the property. The toilets were functional at the time of the inspection when tested.

Toilets General Statement

 Informational

The toilets were flushed and inspected for cracks, leaks, and serviceability. The toilets should be inspected periodically for indications of cracking in the toilet bowl, tank, or base. Cracks are an indication the toilet has reached the end of its useful life and should be replaced before it leaks. Also, periodic replacement of flapper valves and water towers should be expected as typical homeowner maintenance.

6.6 Plumbing > Tubs, Showers, and Fixtures

Tub, Shower, And Fixture Inspection

 Functional

The tubs, showers, and water fixtures appeared to be in functional condition (unless noted separately). Regularly monitoring the tub/shower areas is recommended to identify any signs of damage to the tub or shower enclosure that could allow moisture penetration. Monitoring the fixtures for leaks and proper function is also recommended.

Plumbing Fixtures Maintenance Information

 Informational

Routine preventive maintenance and/or replacement of fixtures is needed periodically. Faucets and valves have a typical life expectancy of 5-15 years.

6.7 Plumbing > Additional Information

Plumbing General Statements

 Informational

A plumbing system consist of the domestic water supply lines, drain, waste and vent lines. Inspection of the plumbing system is limited to visible faucets, fixtures, valves, drains, traps, exposed pipes, and fittings. These items are examined for proper function, excessive, or unusual wear, leakage, and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint. We recommend that you consult the seller for a

history of underground sewer line maintenance/repair. A sewer, lateral test, necessary to determine the condition of the underground sewer lines, is beyond the scope of this inspection. If desired, a qualified individual could be retained for such a test.

7.1 Water Heating Equipment > Water Heater

About the Water Heater

Water Heater Location: Exterior Closet

Water Heater Type: Electric

Water Heater Capacity : Approximately 40 Gallons

Approximate Manufactured Date of Water Heater: 9-11 Years Old

Approximate Water Temperature: Under 120 Degrees

Seismic Strapping: Repair Needed

One Seismic Strap

 (Included in Summary)

 Action Required

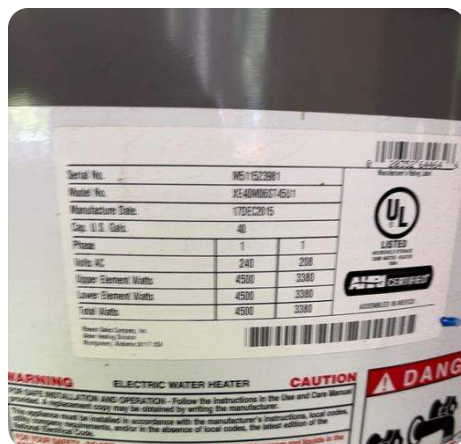
The water heater is equipped with one seismic strap. This current standards are that there be two tie down straps around the top and bottom 1/3s of the tank to prevent it from moving in the event of an earthquake. In addition, the fasteners securing the present strap are undersized and do not meet current standards. Contact a qualified handyman for installation of an appropriate size strapping system.



Water Heater Information

 Informational

The water heater is about 11 years old. The life expectancy of a water heater is typically 8-12 years from the installation date, although there are exceptions on both sides. As a preventative maintenance recommendation, the water heater should be drained periodically to remove sediment buildup in the tank. The recommended setting for a residential water heater is under 120 degrees Fahrenheit to prevent scalding.



7.2 Water Heating Equipment > TPR Valve/Discharge Pipe

Missing Discharge Pipe

(Included in Summary)

Repairs Recommended

There is no discharge pipe attached to the water heater's temperature pressure relief valve. This pipe is essential to prevent someone from being sprayed with hot water if the valve is activated. While activation of the temperature/pressure relief valve is uncommon, it typically indicates that the water heater requires servicing or adjustments. For safety, it is recommended to install an approved discharge pipe that terminates 6-24 inches from the floor or to the exterior.



7.3 Water Heating Equipment > Additional Information

Water Heater Seismic Strapping General Installation

Informational

All water heaters up to 52 gallons must be strapped in at least two locations; the upper one-third of the unit and the lower one-third. The lower strap must be a minimum of 4" above the water heater control unit. It is recommended to have three straps on tanks between 53 and 75 gallons, and the number of straps on tanks more than 75 gallons is determined by your Local Authority having Jurisdiction. Lag screws not less than 1/4" in diameter must be used to anchor the restraints to the wall and each lag screw must have at least 1-1/2" thread penetration into a wall stud. A large flat washer must be installed between each lag screw and strap for reinforcement.

8.1 Interior > Walls, Ceilings, and Floors

Uneven Flooring Slope

 (Included in Summary)

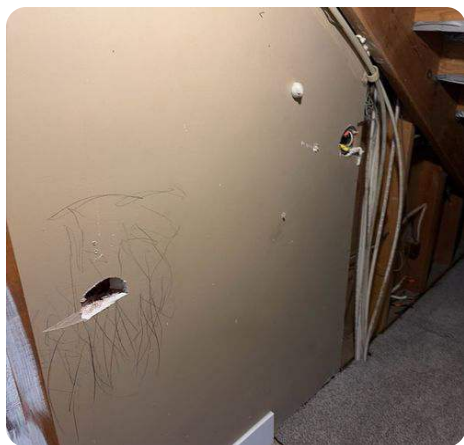
 Repairs Recommended

The flooring in the home displays a noticeable slope in certain areas, which could indicate possible foundation settlement or structural issues. It is recommended to further evaluate the extent of slope and repair as needed to prevent further damage or safety hazards. Consulting with a licensed contractor or structural engineer to assess the situation and address any underlying issues is advised.

General Wear

 Informational

There are various wall areas where there are scratches, nicks, small holes from attaching curtains, or picture hangers, physical damage, stains, or general wear. The conditions are cosmetic in nature and consideration should be given to patching and painting for aesthetic purposes.



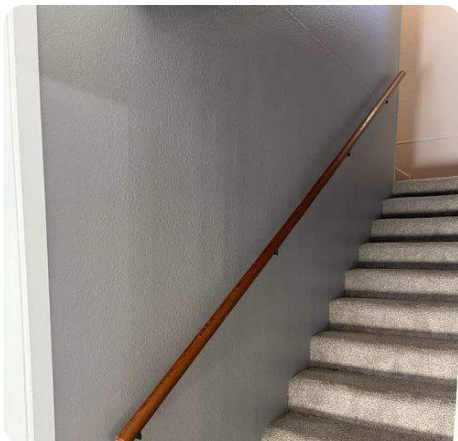
8.2 Interior > Steps, Stairways, and Railings

Handrail Returns Recommended

 (Included in Summary)

 Repairs Recommended

The handrail at the interior stairway is missing returns to the wall at the ends of the rail. A return is meant to help prevent falls and injury. We recommend contacting a qualified contractor for repairs.



Steps, Stairways, And Railings Evaluated

✓ Functional

The steps, stairways, and railings were visually inspected for signs of damage, wear, or instability. All components were found to be securely attached and stable at the time of the inspection. To ensure continued safety, regular inspections and maintenance are recommended to address any potential issues that may develop over time.

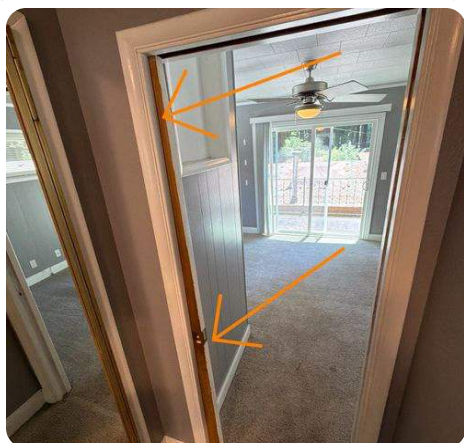
8.3 Interior > Doors

Pocket Door Off Track

(Included in Summary)

🔧 Repairs Recommended

The pocket door is off track. This issue can lead to difficulty in opening or closing the door properly. It is recommended to evaluate and repair the pocket door track to ensure smooth functionality. A qualified carpenter or handyman can assist in realigning the door on track.



8.4 Interior > Smoke Alarms

Missing Smoke Alarms

(Included in Summary)

🔧 Repairs Recommended

The inspector noted one or more missing smoke detectors in the structure. Functional smoke detectors are recommended in the common areas on each floor and in all sleeping areas for increased safety awareness. Replacing the missing smoke detectors is recommended. Thoroughly testing the units upon move-in and each month is recommended as a preventative safety measure.

8.5 Interior > Carbon Monoxide Alarms

Missing Carbon Monoxide Alarms

 (Included in Summary)

 Repairs Recommended

 Location: Downstairs Hallway

The home is missing carbon monoxide alarms. It is recommended to install carbon monoxide alarms on each level of the home, near fuel-burning appliances, and outside of all sleeping areas to ensure the safety of the occupants. Carbon monoxide is a colorless and odorless gas that can be dangerous if undetected. Installing and maintaining carbon monoxide alarms is crucial for early detection of any CO leaks.

8.6 Interior > Countertops and Installed Cabinets

Damaged Cabinet

 (Included in Summary)

 Repairs Recommended

The cabinet has damage that can affect its appearance and functionality. It is recommended to have the damaged area evaluated and repaired by a qualified cabinet repair professional to restore it to its original condition.



Upstairs bathroom

8.7 Interior > Caulking, Grout, and Enclosures

Caulking, Grout, And Enclosures Evaluated

 Functional

The caulking, grout, and enclosures in wet areas were evaluated for signs of cracking, wear, and general deterioration. Minor caulking and re-grouting is recommended periodically throughout the home as part of normal home maintenance, however no significant cracks or voids were found at the time of the inspection.

8.8 Interior > Windows

Interior Windows Tested

 Functional

A representative number of accessible windows were evaluated to assess their condition and functionality. Each window in this sample was tested for ease of operation, including opening, closing, and locking mechanisms. Frames and seals were also checked for any signs of damage or potential air leakage.

Window Seals

i Informational

A visual inspection of the windows may not detect seals that have failed between the panes of glass or other issues, such as deficiencies in UV coatings or films. These issues are often only visible under specific climatic or lighting conditions. Additionally, during a home inspection, it may not be possible to thoroughly examine all windows or seals due to obstructions such as furnishings, window coverings, debris, or films on the glass. If there are concerns about the windows, we recommend having all windows professionally cleaned and/or re-inspected to ensure their condition is thoroughly evaluated.

8.9 Interior > Additional Information

Mold Disclaimer

i Informational

The inspector is not a qualified mold inspector or expert in bio-organic growth. We are not qualified to inspect, identify, or give opinions regarding molds or airborne agents. Many times, the presence of mold is not readily visible and can appear in a short period. If the residence is vacant, leaks have occurred, past or present evidence of sub-area moisture/dampness, and/or heat has been turned off to the home, molds may be present. This inspection is limited to visible and accessible areas at the time of the inspection. To determine what types of bio-organic agents may be located at the property, we recommend you hire a certified mold inspection company for further evaluations and/or to conduct a thorough inspection before closing.

Asbestos And Lead Paint General Statement

i Informational

The scope of this inspection does not include an asbestos-in-material sampling and/or identification inspection. Houses built before or near 1978 may contain this material in certain substrates (drywall, flooring, acoustic texture, etc.) or building materials (exhaust pipes, insulation, heat registers, etc). If there is a concern, we recommend you contact an appropriate testing facility for further evaluation. The scope of this inspection does not include a lead in materials sampling inspection. The US government Consumer Product Safety Commision banned the production of lead paint in 1977. Homes constructed prior to this date may contain lead paint, and consideration should be given to having the paint tested.

9.1 Appliances > Stove, Cooktop

About the Stove, Cooktop

Energy Source: Electric

Cooktop Tested

✓ Functional

An on / off test was performed to determine if the cooktop was functioning. Periodic cleaning and maintenance is recommended for continued use.



9.2 Appliances > Oven

About the Oven

Energy Source: Electric

Oven General Statement

✓ Functional

The oven was functional at the time of inspection. Timers, clocks, convection fans, and self-cleaning systems are not tested and are outside the scope of this inspection.



9.3 Appliances > Dishwasher

Dishwasher Tested

✓ Functional

The dishwasher was tested and appears to be working. A simple on/off check of the dishwasher was performed to determine if it was operational. A full cycle check is often not possible at the time of this inspection; therefore, we cannot comment on the full extent of its functions or its ability to clean. The average life of a dishwasher is 8-12 years. Periodic cleaning of the interior filters is required to extended use.

9.4 Appliances > Refrigerator

Refrigerator General Statement

✓ Functional

Inspecting refrigerators is not within the scope of this home inspection. Should the refrigerator convey with the sale of the home we recommend verifying functionality during the final walk-thru. Consideration should be given to having the appliance inspected and serviced by a qualified appliance contractor.

9.5 Appliances > Garbage Disposal

Garbage Disposal Evaluated

✓ Functional

The garbage disposal was tested and functional at the time of the inspection. During the operation with the water running, the inspector checked the unit and saw no leaks at the time of the inspection. The inspector cannot comment on the full extent of its functions or its ability to dispose of waste placed into the unit.

9.6 Appliances > Washer, Hookups, and Drains

None Installed

i Informational

There was no washer installed at the time of the inspection. We recommend contacting a qualified appliance company for estimates.

9.7 Appliances > Dryer and Vent System

About the Dryer and Vent System

Dryer Energy Source: 240 V Electric

240 V Electric: Proper wiring or power to the 240v outlet cannot always be detected without the removal of the cover plate. The inspector will try using a voltage detector if the outlet is easily accessible.

Disconnected Dryer Vent

i (Included in Summary)

P Repairs Recommended

The dryer vent is disconnected. This issue can lead to moisture build-up and potential mold growth. It is recommended to evaluate and repair the dryer vent by reattaching it securely to ensure proper ventilation. A qualified HVAC technician can assist in reconnecting the dryer vent to prevent any further issues.



Dryer Vent Recommendations

i Informational

The entire dryer ventilation system is often not completely visible for examination. We recommend the dryer ventilation system be cleaned periodically. A build-up of debris can be a safety hazard if left unchecked. Recommend checking with the seller regarding the last time the vent ducting has been cleaned. If it has not been cleaned recently, I recommend contacting a qualified professional to clean the ducting prior to use.

Not Installed

i (Included in Summary)

i Informational

There was no dryer present at the time of inspection. All of the hooks ups and connections appeared to be normal and functioning. Contact the appropriate trade for further evaluation and installation.

10.1 Structural Components > Foundation and Slab

About the Foundation and Slab

Foundation Type: Raised Foundation/Crawlspace

Foundation Anchors: Bolted

Visible Portions Of Foundation

✓ Functional

During the inspection, the foundation was visibly assessed and found to be in functional condition. It is not uncommon for portions of the foundation to be inaccessible for review due to low light conditions or blockage by structural members or system components such as heating ducts or plumbing pipes. We recommend regular monitoring of the foundation for any signs of cracks or water penetration as a part of routine maintenance.

Sill Plate Anchors Observation

i Informational

The sill plate anchors were noted during the inspection. Sill plate anchors are important in securing the framing of a structure to its foundation. Not every anchor is sought out, visible, nor reviewed. Sill plate anchor installation standards have changed over time and the inspector cannot assure the sill plate anchors meet current building standards.



10.2 Structural Components > Beams, Columns, and Posts

Beams, Columns, And Posts Evaluated

✓ Functional

The visible and accessible beams, columns, and posts were evaluated during the inspection. It is important to note that some structural components are often not fully visible during a standard home inspection. Based on the areas that were accessible, all inspected structural elements appeared to be in functional condition at the time of the evaluation.

10.3 Structural Components > Joists and Framing

About the Joists and Framing

Wall Structure: Wood Framing

Floor Structure: Wood Framing

Ceiling Structure: Wood Framing

Joists And Framing Evaluated

✓ Functional

Joists and framing members are typically concealed within the construction and are not fully visible during a standard home inspection. However, the accessible portions that were inspected appeared to be in satisfactory condition, with no significant issues or concerns identified at the time of the evaluation.

10.4 Structural Components > Roof Structure and Attic Components

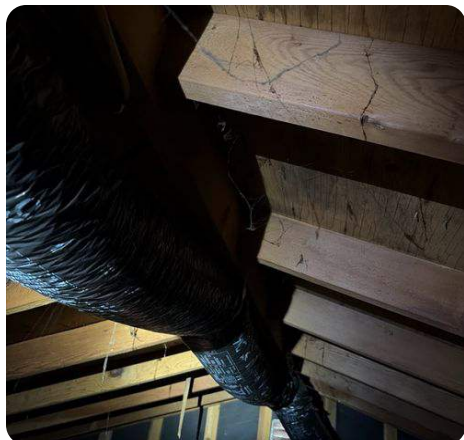
About the Roof Structure and Attic Components

Roof Structure Type: Rafters

Roof Structure And Components Evaluated

✓ Functional

The accessible internal roof components which may include trusses, rafters, and sheathing, were examined and found to be functional. The inspection focused on identifying signs of deflection, deterioration, or damage, such as water staining or wood decay. The roof structure components were serviceable at the time of the inspection.



10.5 Structural Components > Additional Information

Debris In Crawl Space

 (Included in Summary)

✚ Repairs Recommended

Scrap wood and other debris was noted in the crawl space. Recommend removal of all scrap wood and debris from the crawl space as wood debris/cellulose can lead to insect infestation.



Inaccessible Crawl Space

 Limitation

Areas of the crawl space were inaccessible during the inspection due to lack of clearance between heating ducts, soil, and structure. It is recommended to ensure there is a clear and safe access to all areas of the crawl space for future evaluations. Inaccessibility can make it challenging to assess for any issues such as plumbing leaks or structural concerns.

11.1 Insulation and Ventilation > Insulation and Ventilation in Attic

About the Insulation and Ventilation in Attic

Attic Access Location: Upstairs Hallway

Attic Evaluation Method: Head and Shoulders

Head and Shoulders: The inspection was limited to at or near the attic entrance due to access issues.

Insulation Type: Fiberglass Batts

Attic Insulation Approximate Depth: 1-5 Inches

Attic Insulation Evaluated

 Functional

The amount and type of insulation in the attic were inspected and appear to be satisfactory for this region and age of home.



Ventilation Recommendations

 Informational

The attic ventilation appears to be adequate. Adequate attic ventilation is essential for proper energy efficiency and the health of the structure. Half of the ventilating area should be near the roof's high point, and the other half near the eaves. Precise measurement of ventilation space is outside the scope of this home inspection. Should further evaluation be desired we recommend you contact a qualified professional trade for further evaluation.

11.2 Insulation and Ventilation > Insulation and Ventilation in Crawl Space

About the Insulation and Ventilation in Crawl Space

Crawl Space Evaluation Method: Entered

Crawl Space Access Location: Bedroom Closet

Crawl Space Ventilation Evaluated

 Functional

The ventilation in the crawl space was passive ventilation provided by perimeter vent openings, and appeared to be satisfactory at the time of the inspection. Calculation of ventilation requirements is beyond the scope of this inspection.

No Insulation

 Informational

The crawl space does not have insulation installed between it and the floor of the home. Insulation is recommended between a non-heated area and the heated space of the home to enhance comfort and efficiency. It is recommended to consider adding insulation to the area.

11.3 Insulation and Ventilation > Vapor Barriers

No Vapor Barrier

 Informational

There was no vapor barrier installed over the soil in the crawl space. It is suggested to install a vapor barrier if any dampness occurs in the crawl space area. A vapor barrier covering the soil can help reduce moisture in this area and prevent it from traveling up into the structure. This item can be purchased at most home improvement or hardware stores. Contact a qualified trade for installation estimates as needed.

11.4 Insulation and Ventilation > Mechanical Exhaust Systems

Exhaust Systems Evaluated

 Functional

The exhaust systems in the home were evaluated and appeared to be serviceable at the time of the inspection.